



PROPOSED NEW DEVELOPMENT - INFORMATION LEAFLET

CAT 1 - HOUSING DEVELOPMENT AT 72-78 CONNSBROOK AVENUE, BELFAST

NB Housing is a registered Housing Association providing affordable, rented accommodation across Northern Ireland for families, single people and the elderly. We were established in May 2014 following the merger of two community-based housing associations.

We currently own and manage circa 1,200 homes across Northern Ireland.

The Association is in discussions with a private developer to construct a scheme with the following mix:

- 10 nr 2 Person 1 Bed apartments
- 01 nr 2 Person 1 Bedroom apartment
- 01 nr 2 Person 1 Bedroom wheelchair apartment

11 units will be for the Category 1 active elderly client group with the wheelchair unit classed as general needs.

The Association have not been involved with initial design or planning approval of these proposed units, however, the provision of these units will help address social housing need for the active elderly in the East Belfast area and has been supported by the NIHE. The scheme is being procured as a Competitive Land, Design and Build.

Attached with this leaflet are details of the location of the site, scheme floor layouts and the elevational treatment / street scape. It should be highlighted the Association do not as yet own the site.

It is anticipated that works will commence in the spring of 2024 with completion expected in late 2026. Please note that these dates may change due to factors outside the Associations control.

Should you wish to discuss any aspect of this development proposal please contact either –

- David Erskine, Development Manager or
- Ian Graham, Development Officer.

You can also contact the Association in writing at the address below:

NB Housing
282-290 Crumlin Road
BELFAST
BT14 7ED

or

Email: development@nb-housing.org

Or if you'd prefer by telephone, please call 028 90351131 or 02890 592110 to request a call back from a member of the development team.

NB Housing will retain a record of all comments, feedback and responses received and will provide verbal and written feedback. NB Housing may hold an Information Session if required.

THE CONSULTATION / INFORMATION PERIOD WILL REMAIN OPEN FOR 6 WEEKS OR 23RD FEBRUARY 2024.

A copy of this leaflet will also be displayed within the Consultation Section of the NB Housing website under the housing tab. The website address is:

www.nb-housing.org



Site location map:
Note: The proposed site location is highlighted in red.

Proposed Elevations:
(Please note all drawings are preliminary and maybe subject to minor alterations)



Proposed Elevations:
(Please note all drawings are preliminary and maybe subject to minor alterations)



End Elevation



Rear Elevation